

Planning Assessment Officer Report

PA2504166,34 George
Street, Reservoir.



Planning Assessment Officer Report
Development Assessment

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Executive Summary



Key Information		Details		
Application No:	PA2504166			
Received:	29 December 2025			
Statutory Days:	0			
Applicant:	YS Housing			
Planning Scheme:	Darebin Planning Scheme			
Land Address:	34 George Street Reservoir VIC 3073			
Proposal:	Construction of 24 dwellings, including 23 new townhouses and restoration and conversion of an existing church into a standalone dwelling.			
Development Value:	\$12,000,000			
Why is the Minister responsible?	The application has been made under Clause 53.25 (Great Design Fast Track). In accordance with the schedule to Clause 72.01 of the planning scheme, the Minister for Planning is the responsible authority for this application because it is a matter under Division 1 of Part 4 of the Act and Clause 53.25 (Great Design Fast Track) applies.			
Why is a permit required?	Clause	Control		Trigger
Zone:	Clause 32.08-7	General Residential Zone – Schedule 2 (GRZ2)		Construct two or more dwellings on a lot.
Overlays:	Clause 43.01-1	Heritage Overlay (HO264)		Demolish or remove a building Construct a building or construct or carry out works
Particular Provisions:	Clause 52.37-2	Canopy Trees		Remove, destroy or lop a canopy tree in the GRZ
Cultural Heritage:	N/A - The subject site is not within an area of Cultural Heritage Significance			
Total Site Area:	2998	m²		
Height:	3	Storeys excluding plant		
	11.35	Metres		
Land Uses:	Dwellings	Office	Retail	Other
	24	N/A	N/A	N/A
Parking:	Cars	Motorcycles	Bicycles	
	24	0	22	
Referral Authorities:	N/A			
Advice sought:	- Darebin City Council - DTP Urban Design - Office of the Victorian Government Architect			
Public Notice:	Notice of the application was undertaken by the applicant at the direction of the Minister for Planning in the following manner:			



objections have been received as of **16/06/2026**

Delegates List:

Approval to determine under delegation received on **16/06/2026**



Application Process

1. The key milestones in the application process were as follows:

Milestone	Date
DFP Eligibility letter sent	08 December 2025
Application lodgement	29 December 2025
Further information requested	N/A
Further information received	N/A
Further plans submitted on 17 February 2026 formally under s50 of the Act	In summary, the formally substituted plans illustrated: - Corrections to setback annotations
Further informally substituted sketch plans submitted on 29 May 2026	In summary, the sketch plans illustrated: - Moved the booster from the internal driveway to in front of Dwelling 5 in accordance with FRV requirements. - 'Fire shield' wall behind the boosters - The Dwelling 5 car space removed and reallocated to the car park. A car space proposed in front of the Church.
Decision Plans	Plans prepared by YS Housing Pty Ltd, titled '34 George St' and dated 12/2025.
Other Assessment Documents	▪ Landscape Plan prepared by nohLa, dated 10 December 2025 ▪ Planning Report prepared by Urban Planning Collective, dated 22 December 2025 ▪ Urban Context Report prepared by YS Housing, dated December 2025 ▪ Great Design Fast Track Principles Response prepared by YS Housing, dated December 2025 ▪ Sustainable Design Assessment prepared by YS Housing, dated 24 December 2025 ▪ Transport Impact Assessment prepared by OneMileGrid, dated 28 November 2025 ▪ Arboricultural Impact Assessment prepared by Treetec, dated 8 December 2023 ▪ Waste Management Plan prepared by OneMileGrid, dated 28 November 2025

1. This report must be read in conjunction with the decision plans, assessment documents, referral authority comments and the Yarra Ranges Planning Scheme (the planning scheme).

Proposal Summary

2. The proposal can be summarised as follows:

Key Information	Details
Proposal:	The proposal seeks to construct 24 dwellings in a townhouse typology. The built form can generally be described as follows: ▪ 23 townhouses in the following configurations - 9 two-bedroom dwellings - 2 three-bedroom dwellings - 13 four-bedroom dwellings ▪ Conversion of the existing church into a 3 bedroom dwelling.

- The townhouses are separated into 3 built forms across the site, ranging from 2 to 3 storeys.
- A maximum building height of 11.35 metres
- An undercroft carpark providing 23 spaces. Car parking for the church is proposed within the front setback.
- Secure bicycle parking (22 spaces) and a waste room proposed within the undercroft car park
- A central accessway providing vehicle and pedestrian access

Total Site Area:	2998 m ²
Land Uses:	The proposal seeks to use the land exclusively for the purpose of accommodation.

3. The applicant has provided the following concept images of the proposal:



Figure 1: George Street Elevation



Figure 2: Internal Elevation 1



Figure 3: Internal Elevation 2



Site Description

4. The site is located at land known as 34 George Street, Reservoir which comprises the following lots
 - Lot 1 on Title Plan 620389W
 - Lot 1 on Title Plan 605715W
5. No encumbrances or easements burden the site.
6. The site is occupied by a church and a learning building that was previously used as a kindergarten.
7. The site is rectangular in shape with an area of approximately 2,998m². The site is relatively flat, with a slight rise from the George Street to the eastern boundary.
8. The site has a frontage to George Street of 40.23 metres and is serviced by a single centrally located crossover. The site has a maximum depth of 74.68 metres
9. The site is vegetated with small to large shrubs and trees (including two street trees) and exotic grasses.

Site Surrounds

10. The subject site is located within a well-established residential area. Significant infill development has occurred within the immediate surrounds, older infill is largely represented by single storey houses in 5 – 10 dwelling configurations, while more recent development has introduced double storey-built forms. Figure 4 shows the subject site and surrounds, and is indicative of the broader development pattern within the immediate surrounds.

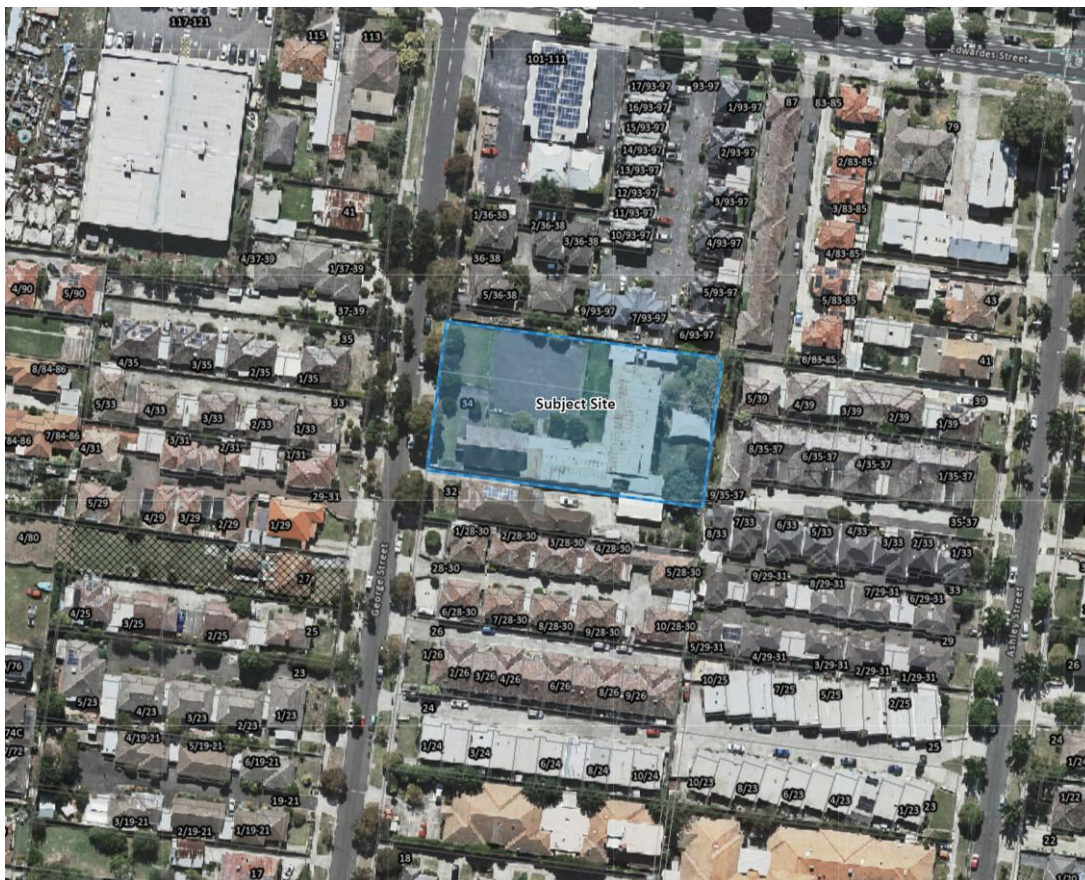


Figure 4: Aerial image of subject site and surrounds.



11. The subject site is located approximately 700 metres west from Reservoir Train Station and the Edwards Street and Spring Street shopping precincts.
12. The subject site is located approximately 600 metres east of the Edwardes Lake Park and J.E Moore Park, which offer both formal and informal recreational opportunities.
13. Development directly abutting adjacent the site can be described as follows:
 - Five double storey dwellings directly abut the subject site along the north boundary. These dwellings form part of existing multi-dwelling townhouse developments.
 - Directly south of the site is a single storey standalone dwelling. The direct interface with the subject site largely consists of a driveway and garage, with an area of secluded private open space (SPOS) located at the rear of the site.
 - Directly east of the subject site are two single storey attached dwellings. 9/35-37 Ashley Street includes SPOS that directly adjoins with the subject site.
 - Directly west of George Street are single storey attached/semi attached dwellings.



Municipal Planning Strategy

14. The following objectives and strategies of the Municipal Strategic Statement of the scheme are relevant to the proposal:

Clause	Description
02.01	Context
02.02	Vision
02.03	Strategic Directions
02.04	Strategic Framework Plans

Planning Policy Framework

15. The following objectives and strategies of the Planning Policy Framework of the scheme are relevant to the proposal:

Clause 11	Settlement
11.01-1S	Settlement
11.01-1R	Settlement – Metropolitan Melbourne
Clause 13	Environmental Risks and Amenity
13.07-1S	Land use compatibility
13.07-1L	Amenity impacts of multi residential and mixed use
Clause 15	Built Environment and Heritage
15.01-1S	Urban design
15.01-1R	Urban design – Metropolitan Melbourne
15.01-1L-01	Urban design
15.01-1L-02	Safe urban environments
15.01-2S	Building design
15.01-2L	Building design
15.01-2L-01	Environmentally sustainable development
15.01-4S	Healthy neighbourhoods
15.01-5S	Neighbourhood character
15.03-1S	Heritage conservation
15.03-1L	Heritage
Clause 16	Housing
16.01-1S	Housing supply
16.01-1R	Housing supply – Metropolitan Melbourne
16.01-1L-01	Housing growth
16.01-1L-02	Housing diversity
16.01-1L-03	Dwelling diversity
16.01-2S	Housing affordability
16.01-2L	Housing affordability



Clause 18	Transport
18.02-4L	Car parking
Clause 19	Infrastructure
19.03-1S	Development and infrastructure contributions plans
19.03-3S	Integrated water management
19.03-5S	Waste and resource recovery

16. The assessment section of this report provides a detailed assessment of the relevant planning policies

Zoning and Overlays

General Residential Zone – Schedule 2

17. Pursuant to Clause 32.08-2, a planning permit is not required to use the land for a dwelling.
18. Pursuant to Clause 32.08-7, a planning permit is required to construct two or more dwellings on a lot
19. A development of three storeys or less, excluding a basement, must meet the requirements of clause 55.

Heritage Overlay (HO264)

20. Pursuant to Clause 43.01-1 a planning permit is required to:

- Demolish or remove a building
- Construct a building or construct or carry out works

21. As shown in Figure 5, HO264 affects the western extent of the site, known as Lot 1 on Title Plan 605715W.



Figure 5: Extent of HO264

Development Contributions Plan Overlay

22. Pursuant to Clause 45.06-1 a permit granted must:

- Be consistent with the provisions of the relevant development contributions plan.
- Include any conditions required to give effect to any contributions or levies imposed, conditions or requirements set out in the relevant schedule to this overlay.

23. Council has recommended a condition requiring the payment of a DCP.

Particular and General Provisions

Provisions that Require, Enable or Exempt a Permit

Clause 52.06 – Car Parking

24. The subject site is located within Category 2 as identified in the *Car Parking Requirement Maps*, where minimum car parking requirements apply.
25. Pursuant to Clause 52.06-5, one car space is required for each dwelling. The proposal includes the provision of 24 spaces, 23 spaces in the car park, and one space located within the front setback of the 'church' dwelling.

Clause 52.34 – Bicycle Parking

26. Pursuant to Table 1 at Clause 52.34-5, there is no statutory requirement for bicycle parking associated with a dwelling for a development of less than four stories. Therefore, there is no statutory requirement to provide bicycle parking.
27. Notwithstanding the above, the development proposes to provide 22 bicycle spaces within the car park.

Clause 52.37 – Canopy Trees

28. Pursuant to Clause 52.37-2 a planning permit is required to remove, destroy or lop a canopy tree in the GRZ.
29. An exotic Box Elder (*Acer Negundo*), located along the eastern boundary, meets the definition of a canopy tree at Clause 52.37-1 and therefore a permit is required for its removal.

General Requirements and Performance Standards

Clause 53.03 - Residential reticulated gas service connection

30. Pursuant to Clause 53.03-2 a planning permit must not be granted for construction of a new dwelling or a new apartment development that is to be connected to a reticulated gas service.
31. The proposal does not include the provision of any gas services. The relevant mandatory condition has been included on permit.

Clause 53.18 – Stormwater Management in Urban Development

32. Clause 53.18 applies to an application under a provision of a zone to construct a building, or construct or carry out works. The purpose of the clause is:
- To ensure stormwater management in urban development minimizes impacts on the environment, infrastructure, and downstream areas.
 - To protect water quality by incorporating stormwater treatment measures that remove pollutants before runoff reaches waterways.
 - To reduce the risk of flooding by managing stormwater runoff volumes and peak flows.
 - To integrate stormwater management within development planning to enhance urban sustainability and local amenity.

Clause 53.25 – Great Design Fast Track

33. Clause 53.25 is available for apartment and townhouse proposals that are two to eight storeys in height with eight or more homes that demonstrate specified principles for great design. Proposals which meet the specified principles for good design and sustainability can access this accelerated pathway
34. The applicant was advised of project eligibility on 8 December 2025.

Clause 55 - Two Or More Dwellings on a Lot and Residential Buildings

35. Clause 55 of the planning scheme provides for standards and objectives that seek to:
- To implement the Municipal Planning Strategy and the Planning Policy Framework.
 - To encourage residential development that provides reasonable standards of amenity for existing and new residents.
 - *To encourage residential development that responds to the site and the surrounding area.*
36. Within the GRZ, a development of three storeys or less, excluding a basement, must meet the requirements of clause 55. An assessment against Clause 55 is provided at Appendix A.

Relevant Strategic Plan / Background Documents

Plan for Victoria

37. Plan for Victoria (DTP 2025) sets a long-term vision for a well-connected, liveable, and inclusive state. It identifies the need for approximately 2.24 million new homes over the next 30 years across Melbourne and regional centres, highlighting that location is critical to ensure these homes support community wellbeing and sustainability.
38. Victoria's Housing Statement: The Decade Ahead 2024–2034 (DPC, 2023) and Plan for Victoria (DTP, 2025) together establish the State's strategic framework for accommodating population and employment growth by significantly increasing housing supply in well-served locations. Both policies prioritise streamlined planning and the concentration of higher-density housing within activity centres and areas with strong access to public transport, jobs and essential services, aligning land use planning with major infrastructure investment to support liveable and sustainable communities.
39. A core principle of the plan is the 20-Minute Neighbourhood, an urban model where residents can easily access daily services, employment, and amenities within 20 minutes of their home. This is seen as vital to reducing travel times, improving liveability, and strengthening local communities.
40. Plan for Victoria includes strong policy directions regarding:
- Housing for all Victorians
 - Great places, suburbs and towns; and
 - Sustainable environments

Darebin Housing Strategy

41. The Darebin Housing Strategy (Darebin City Council 2025) *'is a key strategic document that sits under the Council Plan, is aligned with the 2041 community vision and implements state planning policy and metropolitan planning strategies. It outlines ways in which Council will endeavour to influence housing outcomes in the municipality.'*
42. Key to the plan is setting out preferred location for increased housing growth. The subject site is within proximity to the Reservoir Major Activity Centre and is proposed to be included within a Substantial Change Area (residential), as shown in Figure 6.

Proposed Residential Development Framework

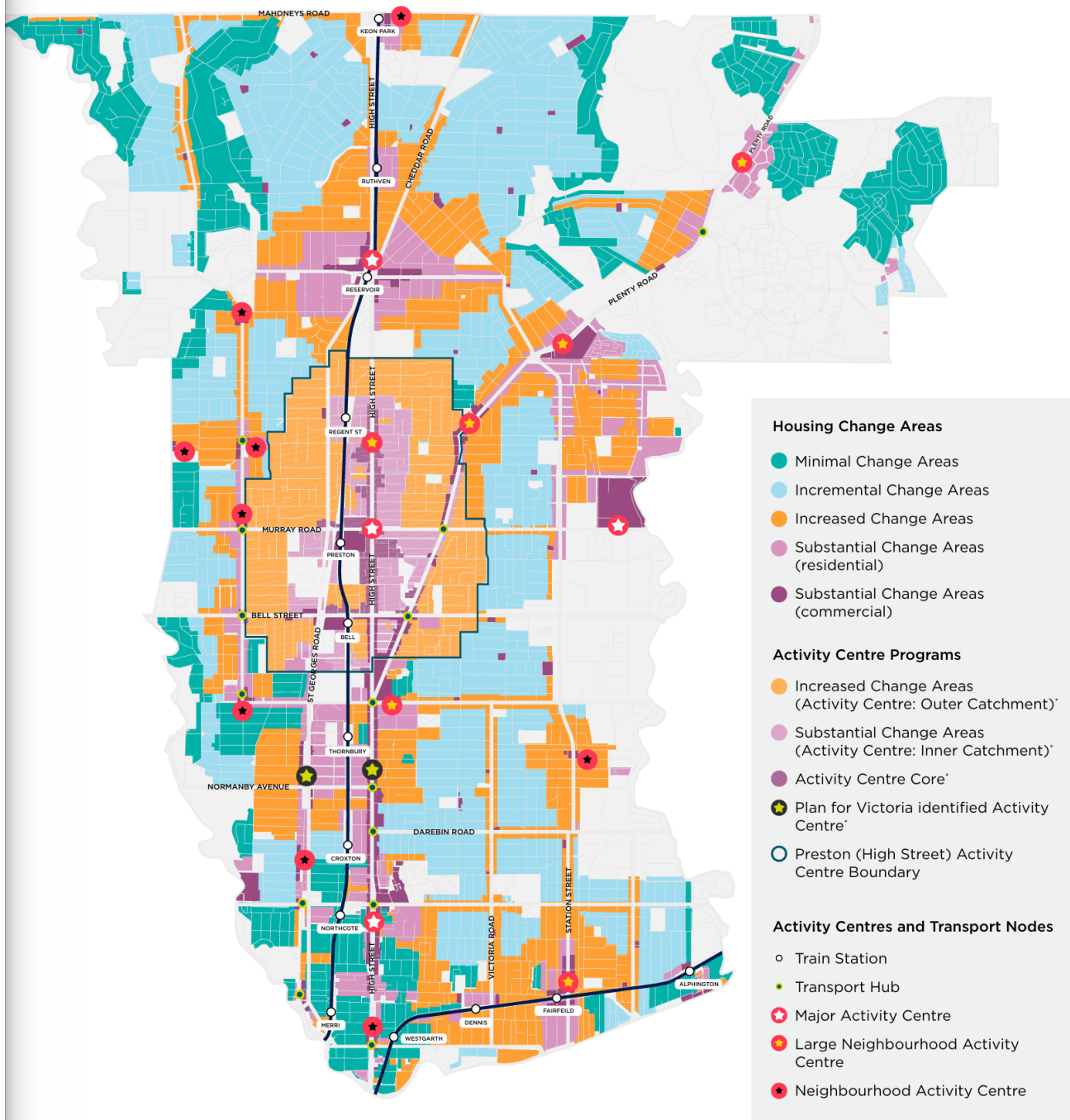


Figure 6: Darebin Housing Strategy - Proposed Residential Development Framework.



Referrals

43. There were no statutory referrals required for the application.

Office of the Victorian Government Architect (OVGA)

44. As required by Clause 52.35 (Great Design Fast Track), written advice from the OVGA is required, demonstrating that the proposal satisfies the Clause 52.35 design principles. The proposal was amended in response to OVGA comments during the pre-application stage and prior to formal lodgement of the application.

Notice

45. The applicant was directed to give notice by way of erecting a sign on the site and notifying adjoining owners and occupiers.

46. 11 objections were received, key issues have been summarised in the below table

Issue	DTP response
Car parking	As detailed in this report, the proposal is compliant with Clause 52.06 (car parking), providing the required number of car spaces.
Traffic impacts	As detailed in the Transport Impact Assessment the development <i>'will generate 120 movements per day, inclusive of 12 vehicle movements during the morning and afternoon peak hours.'</i> <i>This level of traffic is very low in traffic engineering terms and equates to an average of 1 movement per 5 minutes during the peak hours, and as such is not expected to have a noticeable impact on the operation of the surrounding road network.'</i>
Overdevelopment	As detailed in this report, the proposal is considered an appropriate response within the context, and limits offsite amenity impacts.
Overlooking	As detailed at Appendix 1, the proposal provides overlooking measures in accordance with Standard B4-4 to limit overlooking into habitable room windows and SPOS.
Overshadowing	As detailed at Appendix 1, the proposal satisfies Standard B4-4 overshadowing.
Heritage impacts	As detailed in this report, the proposal is acceptable within the heritage context.
Glare/reflection from cladding	Concerns were raised regarding potential for glare from the proposed 'Zincalume' cladding. The applicant provided details on the level of 'gloss'; from the proposed material as compared to other common building materials. ▪ Low gloss painted steel: 10-15 GU ▪ Zincalume (new): 20-25 GU ▪ Standard gloss painted steel: 25-30 GU ▪ Polished black glass: 100 GU In accordance with Planning Practice Note 96, a range of design factors can influence the extent and type of reflected glare risk. Glare impacts are typically associated with developments exceeding four storeys, particularly mid- to high-rise buildings, and are often linked to concave or highly glazed façades, as well as tilted façade treatments. The proposed development, at three storeys, does not incorporate these design characteristics. As such, it is not expected to give rise to significant glare impacts, and the Department has not required glare modelling to be undertaken.
Procedural issues	Questions were raised as to whether it was appropriate to assess an application that was largely identical to that which was decided by VCAT. Under the <i>Planning and Environment</i>



	<i>Act 1987</i> , the applicant is within their rights to lodge an application, and the responsible authority must assess this application on its own merits.
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Accuracy of information	The accuracy of the information has been determined as adequate for the assessment of this application. Conditions have been included within the recommendation to ensure that all documents required for endorsement will be updated to ensure alignment.
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Municipal Council Comments

47. Notice of the application was provided to Darebin City Council (the council).

- Council were supportive of the application in their response dated 23 February 2026. In summary, Council advised that they had issued a Notice of Decision to Grant a Planning Permit for 24 dwellings, generally in accordance with the plans submitted for this application. Council's decision was subsequently upheld by VCAT on 11 November 2025, and a planning permit was issued.
- It is noted that there are a number of relatively minor differences between the proposal as assessed by Council, and subsequently brought before VCAT.

48. Council provided a copy of the Council issued NOD and subsequent VCAT planning permit for the purpose of informing potential permit conditions associated with this application. A number of these conditions have been included relating to:

- Stormwater management
- Tree protection (modified)
- Amenity
- Compliance
- Safety
- Service locations
- DCP



Strategic Direction

49. The *Planning Policy Framework* encourages sustainable growth and development of Victoria. It seeks development of sustainable communities through a settlement framework offering convenient access to jobs, services, infrastructure and community facilities. It encourages form and density of settlements that supports healthy, active and sustainable transport, limit urban sprawl and direct growth into existing settlements and promotes and capitalises on opportunities for urban renewal and infill redevelopment.
50. The proposed development has been assessed against the MPS of the Darebin Planning Scheme and is considered to be consistent with its key directions, which seek to encourage housing intensification and diversity in and around activity centres and strategic corridors.
51. The proposal is consistent with Clauses 11.01-1S, 11.01-1R, 16, 16.01-1S, and 16.01-1R, which encourage increased density in well-connected locations. The proposal facilitates increased housing supply and diversity, accommodating, two, three and four bedroom townhouses to meet varied household needs in an area identified as Substantial Housing Change Area in the Darebin Housing Strategy.
52. The site benefits from proximity to multiple public transport options, including Reservoir Train Station, multiple bus routes including the 553, 558 and 561. Additionally, the proposal includes the provision of 22 bike spaces to encourage sustainable transport in accordance with Clause 2.03-7 and Clause 18 of the planning scheme
53. The proposal is consistent with the objectives of Clause 13.07-1L by appropriately managing the sensitive interfaces by incorporating setbacks, building articulation, and landscaping and protect adjoining amenity.
54. The proposal responds positively to Clause 15.01-1S and Clause 15.01-2S by delivering a high-quality, architecturally considered design that integrates well with its urban context and contributes positively to the public realm and the heritage building on the site.
55. The proposal integrates key sustainable design strategies including energy-efficient design, water-sensitive urban design, and provision for natural ventilation and daylight. These measures support reduced resource consumption and improved environmental performance in line with the policy's objectives of Clause 15.01-2L-01.

Buildings and Works

Built form

56. The GRZ seeks to encourage development that responds to the character of the area, while also encouraging growth in locations that offer access to services and transport. The proposal provides a contemporary response that utilises built form elements, such as the gabled roof form, that responds to the character of the area with a contemporary interpretation.
57. The GRZ has a maximum building height of 11 metres, which is exceeded by 450mm by the proposal. Pursuant to Clause 53.25-2, this maximum requirement can be waived. The 450mm exceedance relates to TH02, and is limited to the uppermost section of the gabled roof. This additional height does not create any offsite amenity impacts and is negligible in regard to the perception of visual bulk.
58. While the proposal includes limited upper level setbacks to limit the perception of visual bulk, the varied roof forms and varied window locations and sizes assisting to breaking up the built form, and create a more fine grain appearance.
59. Side and rear setbacks, including the inclusion of generous SPOS from the northern boundary, has been proposed to help in minimising impacts to adjoining properties.
60. The proposed row typology is appropriate within the sites context, where significant infill development has already occurred. The use of separate 3 separate 'building blocks' (plus the church) helps to break up the built form and provides meaningful areas for landscaping.

61. The proposal achieves an acceptable and well-considered built form response to the site's opportunities and constraints, having regard to the immediate and wider context.

Clause 55

62. Pursuant to Clause 32.08-7, a development of three storeys or less, excluding a basement, must meet the requirements of clause 55. A full assessment against Clause 55 has been provided at Appendix 1. The proposal results in the following Clause 55 variations:
- Standard B2-2 (Building height)
 - Standard B2-3 (Side and rear setbacks)
 - Standard B2-4 (Walls on boundary)
 - Standard B2-6 (Access)
 - Standard B3-11 (Storage)
63. Overall, the proposal satisfies all Clause 55 objectives. Notably complies with all off-side amenity and sustainability standards.

Heritage

64. The subject site is partly affected by HO264, which relates to the former Methodist Church. The former Reservoir Methodist Church at 34 George Street, Reservoir is of local historic, architectural and social significance to Darebin City and is a representative example of a simple inter-war Gothic Revival church, which is associated with the first phase of suburban development in Reservoir during the inter-war period.
65. It is proposed to retain this church, restoring and converting it into a 3-bedroom dwelling. The proposal includes the demolition of the existing kindergarten on site, the demolition of this non-heritage building is supported.
66. The church will be fully detached from the other built forms on site, and with the contemporary nature of the townhouses, the heritage fabric will be easily distinguishable.
67. Due to Fire Rescue Victoria (FRV) requirements, the booster that was to be located within the central driveway needs to be reallocated to the front setback. As per the sketch plans, it is proposed to place it in front of TH05. This necessitates the movement of the TH05 car space, proposed within the front setback, to the car park. To ensure the provision of 24 car spaces, it is proposed to place a car space in front of the church.
68. Vehicle accommodation in front of heritage fabric is generally discouraged. However, no structures are proposed, with the accommodation limited to a hardstand area. A condition on permit requires this be treated in a way which is complimentary to the heritage fabric.

Landscaping

69. The Landscape Plan that accompanied the proposal details proposed landscaping within private open spaces and common areas. Notably the plan illustrates:
- Generous canopy cover and deep soil plantings throughout the site. Proposed canopy cover is approximately 2% (608m²), helping to offset trees and vegetation removed on site to facilitate the development.
 - A comprehensive planting schedule which considers planting zones, particularly between common property areas and SPOS.
 - Plantings within all setbacks to help integrate the development into the street and filter the development from adjoining properties.



Car and Bicycle Parking, Loading, and Other Services

Car Parking

70. As previously detailed the proposal includes 24 car spaces, satisfying Clause 52.06. It is noted that the Transport Impact Assessment submitted with the application assessed the provision of car parking under the rates that applied prior to planning scheme amendment VC277
71. The Transport Impact Assessment includes swept path diagrams demonstrating that vehicles can enter and exit in a forward motion, and can manoeuvre into the spaces in an acceptable number of movements.
72. The car space dimensions and accessway widths satisfy Clause 52.06-9

Bicycle Facilities

73. While Clause 52.34 does not apply to the proposal, 22 bicycle spaces have been included in a dedicated storage area within the car park, helping to encourage sustainable transport.

Waste

74. A dedicated communal waste area has been provided within the car park.
75. The WMP identifies that the development will utilise private contractors for the collection of waste with weekly collection.
76. The WMP identifies that the proposed bin allocation and collection frequency is adequate for the expected waste generation.
77. The WMP includes swept path diagrams demonstrating that a mini-loader will be able to enter and exit the site in a forward motion to collect the waste.

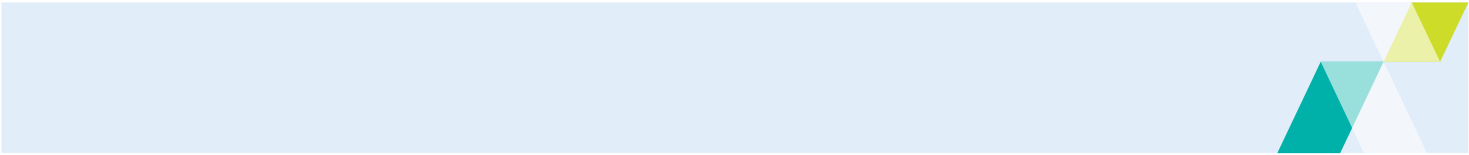
Sustainability

Environmentally Sustainable Design (ESD)

78. The application was accompanied by a Sustainable Design Assessment which identifies a range of ESD measures to ensure a sustainable built form, including:
 - Built Environment Sustainability Scorecard (BESS) score of 68%
 - Solar PV provided to all dwellings.
 - The development will be all electric.
 - Rainwater collection and reuse (toilet flushing and landscaping irrigation).
 - Water efficient appliances and fixtures.
 - Double glazing for all townhouse windows (not proposed for 'church' dwelling).
79. Pursuant to Clause 53.25, to qualify for the Great Design Fast Track pathway an average 7.5 NatHERS score is required. Conditions on permit will ensure this requirement is met.
80. As such, the proposal provides an acceptable ESD outcome, subject to conditions

Stormwater Management

81. The submitted SDA includes stormwater management measures, including retention measures to limit impacts on the drainage network.



82. The council recommended the inclusion of stormwater management conditions. DTP agrees with the inclusion of these conditions.

83. Subject to the above conditions, the proposal will result in appropriate stormwater outcomes.

Other matters

Clause 52.37 – Canopy Trees

84. A planning permit is required to remove the Box Elder (*Acer Negundo*), located along the eastern boundary of the subject site.

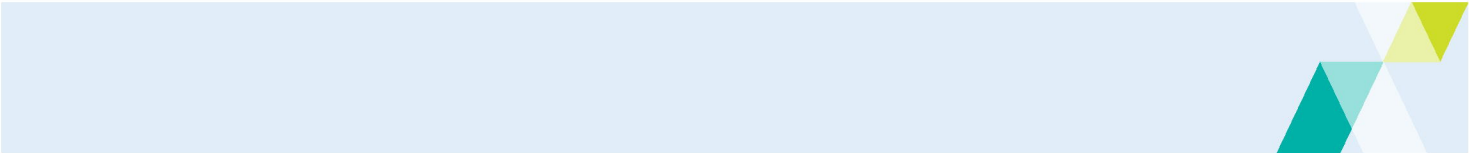
85. This Box Elder is a mature tree, in good health with an expected life of 15 to 40 years. The tree is approximately 12 metres in height with a spread of 12 metres and a DBG of 72cm.

86. The tree is exotic and as per the arboriculture report, provides a medium level of amenity value. Given the exotic nature of the tree, and the well-considered landscape response which includes canopy tree plantings in accordance with Clause 52.37, its removal is considered acceptable.

Recommendation



87. The proposal is generally consistent with the relevant planning policies of the Darebin Planning Scheme and will contribute to the provision of housing within the Reservoir area.
88. The proposal is supported by Darebin City Council.
89. It is recommended that Planning Permit No. PA2504166 for the development of 24 dwellings, including 23 new townhouses and restoration and conversion of an existing church at 34 George Street, Reservoir be issued subject to conditions.
90. It is recommended that the applicant, council and objectors be notified of the above in writing.



Prepared by:

[Redacted signature area]

Reviewed / Approved by:

[Redacted signature area]

Appendix 1: Clause 55 Assessment



The following table comprises an assessment of the proposed dwellings against clause 55 of the planning scheme.

Neighbourhood and site description

Clause 55.01-1	Assessment
<i>The neighbourhood and site description may use a site plan, photographs or other techniques and must accurately describe:</i> <i>In relation to the neighbourhood:</i> <i>The pattern of development of the neighbourhood.</i> <i>The built form, scale and character of surrounding development including front fencing.</i> <i>Architectural and roof styles.</i> <i>Any other notable features or characteristics of the neighbourhood.</i> <i>In relation to the site:</i> <i>Site shape, size, orientation and easements.</i> <i>Levels of the site and the difference in levels between the site and surrounding properties.</i> <i>The location of existing buildings on the site and on surrounding properties, including the location and height of walls built to the boundary of the site.</i> <i>The use of surrounding buildings.</i> <i>The location of secluded private open space and habitable room windows of surrounding properties which have an outlook to the site within 9 metres.</i> <i>Solar access to the site and to surrounding properties.</i> <i>Location of significant trees existing on the site and any significant trees removed from the site 12 months prior to the application being made, where known.</i> <i>Any contaminated soils and filled areas, where known.</i> <i>Views to and from the site.</i> <i>Street frontage features such as poles, street trees and kerb crossovers.</i> <i>The location of local shops, public transport services and public open spaces within walking distance.</i> <i>Any other notable features or characteristics of the site.</i> <i>If in the opinion of the responsible authority a requirement of the neighbourhood and site description is not relevant to the evaluation of an application, the responsible authority may waive or reduce the requirement.</i> Satisfactory neighbourhood and site description <i>If the responsible authority decides that the neighbourhood and site description is not satisfactory, it may require more information from the applicant under Section 54 of the Act.</i> <i>The responsible authority must not require notice of an application to be given or decide an application until it is satisfied that the neighbourhood and site description meets the requirements of Clause 55.01-1 and is satisfactory.</i> <i>This does not apply if the responsible authority refuses an application under Section 52(1A) of the Act.</i>	Complies The Architectural Plans and Urban Context Report appropriately satisfy this requirement.

Design response

Clause 55.01-2	Assessment
<i>The design response must explain how the proposed design:</i> <i>Derives from and responds to the neighbourhood and site description.</i> <i>Meets the objectives of Clause 55.</i> <i>Responds to any neighbourhood character features for the area identified in a local planning policy or a Neighbourhood Character Overlay.</i>	Complies The Architectural Plans, Urban Context and Planning Report satisfy this requirement



- If the application is for an apartment development, the design response must explain how the proposed design selects materials and finishes for the external walls.
- The design response must include correctly proportioned street elevations or photographs showing the development in the context of adjacent buildings. If in the opinion of the responsible authority this requirement is not relevant to the evaluation of an application, it may waive or reduce the requirement.

Neighbourhood character objectives

Street setback objectives

Clause 55.02-1

Objectives

- To ensure that the setbacks of a buildings form a street respond to the existing or preferred neighbourhood character and make efficient use of the site.

Standard B2-1

Walls of buildings are set back from streets:

- At least the distance specified in a schedule to the zone if the distance specified in Table B2-1; or
- If no distance is specified in a schedule to the zone, the distance specified in Table B2-1.

Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard.

Table B2-11 Street setback

Development Context	Minimum setback from front street (metres)	Minimum setback from a side street (metres)
There is an existing building on both the abutting allotments facing the same street, and the site is not on a corner.	The same distance as the lesser front wall setback of the existing buildings on the abutting allotments facing the front street or 6 metres, whichever is the lesser.	Not applicable
There is an existing building on one abutting allotment facing the same street and no existing building on the other abutting allotment facing the same street, and the site is not on a corner.	The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 6 metres, whichever is the lesser.	Not applicable
There is no existing building on either of the abutting allotments facing the same street, and the site is not on a corner.	6 metres for streets in a Transport Zone 2 and 4 metres for other streets.	Not applicable

Assessment

Complies

The proposal includes a minimum setback of 5.6 metres which is great than the adjoining property to the north (5.04 metres)



<i>The site is on a corner.</i>	<i>If there is a building on the abutting allotment facing the front street, the same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 6 metres, whichever is the lesser.</i> <i>If there is no building on the abutting allotment facing the front street, 6 metres for streets in a Transport Zone 2 and 4 metres for other streets.</i>	<i>Front walls of new development fronting the side street of a corner site should be setback at least the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 3 metres, whichever is the lesser.</i> <i>Side walls of new development on a corner site should be setback the same distance as the setback of the front wall of any existing building on the abutting allotment facing the side street or 2 metres, whichever is the lesser.</i>
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Building height objectives

Clause 55.02-2	Assessment
Objectives <i>To ensure that the height of buildings respond to the existing or preferred neighbourhood character.</i>	Variation The GRZ stipulates a maximum height of 11 metres. The proposed maximum height is 11.45 metres
Standard B2-2 <i>The maximum building height does not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land.</i> <i>If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height does not exceed 9 metres, unless the slope of the natural ground level at any cross-section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height does not exceed 10 metres.</i>	The 450mm exceedance is from the gabled roof of 1 of the 4 townhouses facing George Street. This represents a very small section of the built form, and is negligible within the context.

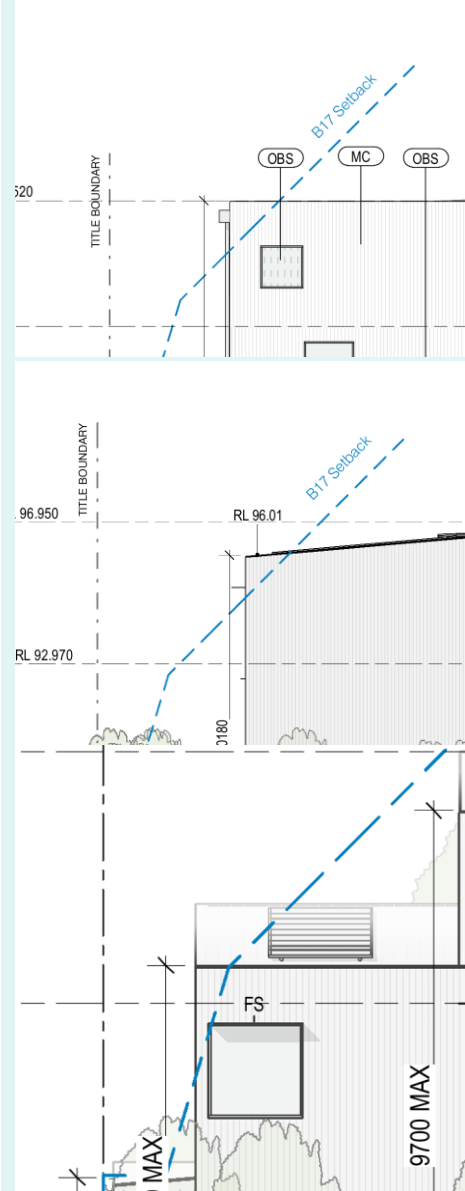
Side and rear setbacks objective

Clause 55.02-3	Assessment
Objective <i>To ensure that the height and setback of a building from a boundary responds the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings or small second dwellings.</i>	Variation As shown in the below screengrabs from the advertised plans, the built form has a number of minor encroachments associated with Building 2 and Building 3.
Standard B2-3	

- A new building not on or within 200mm of a boundary should be set back from side or rear boundaries in accordance with either B2-3.1 or B2-3.2.
- Standard B2-3 is met if the building is set back in accordance with either B2-3.1 or B2-3.2, rather than needing to comply with both of these provisions:
 - B2-3.1:
The building is setback at least 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.
 - B2-3.2
If the boundary is not to the south of the building, the building is setback at least 3 metres up to a height not exceeding 11 metres and at least 4.5 metres for a height over 11 metres.
- Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard.
- Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.

Given the overall design response as detailed in the built form assessment section of this report, and the limited offsite amenity impacts, these minor encroachments are considered acceptable.

Furthermore, reduced setbacks and walls on boundary are increasingly characteristic of the surrounding area due to the significant extent of infill development.



Walls on boundary objective

Clause 55.02-4

Objective

- To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits

Assessment

Variation



the impact on the amenity of existing dwellings and small second dwellings.

Standard B2-4

- A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot does not abut the boundary for a length that exceeds the greater of the following distances:
 - 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or
 - The length of existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot.
- A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary.
- A building on a boundary includes a building set back up to 200mm from a boundary.
- The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.

Dwelling 5 has a maximum boundary wall height of 7.55 metres, exceeding the average maximum height of 3.2 metres, and maximum height of 3.6 metres.

This variation is acceptable given that Dwelling 5 is on the north side of the site and adjacent a driveway, limiting offsite amenity impacts.

The eastern boundary wall of Dwelling 16 has an average height of 3.51 metres, exceeding the average maximum of 3.2 metres.

This wall is largely adjacent an area of common property, limiting offsite amenity impacts. While there will be additional overshadowing of the SPOS of 9/35-37 Ashley Street, this would occur from the upper levels even if the boundary wall complied.

Site coverage objective

Clause 55.02-5

Objective

- To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.

Standard B2-5

- The site area covered by buildings should not exceed:
 - The maximum site coverage specified in a schedule to the zone; or
 - If no maximum site coverage is specified in a schedule to the zone, the percentage specified in Table B2-5.
- If the maximum site coverage is specified in a schedule to the zone, it must be greater than the percentage specified in Table B2-5.

Table B2-5 Site Coverage

Zone	Area
Neighbourhood Residential Zone	60 per cent
Township Zone	
General Residential Zone	65 per cent
Residential Growth Zone	
Mixed Use Zone	70 per cent
Housing Choice and Transport Zone	

Assessment

Complies

The development has a site coverage of 52%

Access objective

Clause 55.02-6

Objectives

- To ensure the number and design of vehicle crossovers responds to the neighbourhood character.

Standard B2-6

- The width of accessways or car spaces (other than to a rear lane) does not exceed:
 - 33 per cent of the street frontage, or

Assessment

Variation

The central crossover encroaches the TPZ of a street tree by 22%, which may result in its loss.

The arboriculture report indicates that further investigation of the roots is required to confirm impacts. Conditions have been included on permit requiring the



- 40 per cent of the street frontage if the width of the street frontage is less than 20 metres.
- The number of access points to a road in a Transport Zone 2 or a Transport Zone 3 is not increased.
- The location of a vehicle crossover or accessway does not encroach the tree protection zone of an existing tree, that is proposed to be retained in a road by more than 10 per cent.

recommendations of the arboriculture report be implemented.

Tree canopy objective

Clause 55.02-7

Objective

- To provide tree canopy that responds to the neighbourhood character of the area and reduces the visual impact of buildings the streetscape.
- To preserve existing canopy cover and support the provision of new canopy cover.
- To ensure new canopy trees are climate responsive, support biodiversity, wellbeing and amenity, and help reduce urban heat.

Standard B2-7

- Provide a minimum canopy cover as specified in Table B2-7.1.

Table B2-7.1

Site area	Canopy cover
1000 square metres or less	10% of the site area
More than 1000 square metres	20% of the site area

- Existing trees to be retained meet all the following:
 - Has a height of at least 5 metres,
 - Has a trunk circumference of 0.5 metres or greater at 1.4 metres above ground level,
 - Has a trunk that is located at least 4 metres from proposed buildings.
- The minimum canopy cover is met using any combination of trees specified in Table B2-7.2
- Existing trees that are retained can be used in calculating canopy cover.

Table B2-7.2 Tree type, canopy cover, deep soil planter requirements

Tree type	Minimum canopy diameter at maturity	Minimum height at maturity	Minimum mature canopy cover	Tree in deep soil Area of deep soil	Tree in planter Volume of planter	Minimum depth of planter soil
A	4 metres	6 metres	12.6 sqm	12 cubic metres (min. plan dimensions 2.5 metres)	12 cubic metres (min. plan dimensions 2.5 metres)	0.8 metre

Assessment

Complies

The landscape plan indicates canopy cover of 21%, including a mix of small to large trees as required at Table B2-7.2.



B	8 metres	8 metres	50.3 sqm	49 cubic metres (min. plan dimensions 4.5 metres)	28 cubic metres (min. plan dimensions 4.5 metres)	1 metre
C	12 metres	12 metres	131.1 sqm	121 cubic metres (min. plan dimensions 6.5 metres)	64 cubic metres (min. plan dimensions 6.5 metres)	1.5 metre

- Provide at least one new or retained tree in the front setback and the rear setback.
- Trees are located in either:
 - An area of deep soil as specified in Table B2-7.2; or
 - A planter as specified in Table B2-7.2.

Any tree required to be planted under this standard must be of species to the satisfaction of the responsible authority, having regard to the location and relevant geographic factors.

Front fences objective

Clause 55.02-8	Assessment
Objective • To encourage front fence design that responds to the existing or preferred neighbourhood character.	Complies Front fences are approximately 1 metre in height. A condition has been included requiring further details to ensure the fences respond to the context
Standard B2-8 • A front fence within 3 metres of a street is: ○ The maximum height specified in a schedule to the zone, or ○ If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B2-8.	It is noted that proposed fire wall as detailed in the sketch plans will exceed 1.5 metres in height. Given that this wall is a mandatory requirement for the booster, it has not been assessed as a front fence for the purpose of this Standard.

Street context	Maximum front fence height
Streets in a Transport Zone 2	2 metres
Other streets	1.5 metres

Liveability

Dwelling diversity objective

Clause 55.03-1	Assessment
Objective	Complies



To encourage a range of dwelling sizes and types in developments of ten or more dwellings.	The proposal includes 23 townhouses in the following configurations 9 two-bedroom dwellings 2 three-bedroom dwellings 13 four-bedroom dwellings
Standard B3-1 - Developments include at least: - One dwelling that contains a kitchen, bath or shower, bedroom and a toilet and wash basin at ground floor level for every 10 dwellings. - One dwelling that includes no more and no less than 2 bedrooms for every 10 dwellings. - One dwelling that includes no more and no less than 3 bedrooms for every 10 dwellings.	The Church and TH16 both contain a kitchen, bath or shower, bedroom and a toilet and wash basin at ground floor level

Parking location objectives

Clause 55.03-2	Assessment
Objectives To minimise the impact of vehicular noise within developments on residents.	Complies The habitable room windows of the 'church' dwelling have been setback from the internal accessway at least 1.5 metres.
Standard B3-2 - Habitable room windows with sill heights of less than 3 metres above ground level are setback from accessways and car parks by at least: 1.5 metres; or - If there is a solid fence with a height of at least 1.5 metres between the accessway or car park and the window, 1 metre; or 1 metre where window sills are at least 1.5 metres above ground level. - This standard is met if an accessway or relevant car parking space is used exclusively by the resident of the building with the habitable room.	

Street integration objectives

Clause 55.03-3	Assessment
Objectives To integrate the layout of development with the street to support the safety and amenity of residents.	Complies All dwellings fronting George Street are provided with street facing habitable room windows at ground floor, first/second and third floors. Habitable room windows overlook vehicle and pedestrian accessways A lighting plan condition has been included to ensure the internal accessways are appropriately illuminated.
Standard B3-3 - Where a development fronts a street, a vehicle accessway or abuts public open space: - Passive surveillance is provided by a direct view from a balcony or a habitable room windows to each street, vehicle accessway and public open space. - The total cumulative width of all site services to be located within 3 metres of a street, do not take up more than 20 per cent of the width of the frontage and are screened from view from the street or located behind a fence. Screens or fences are to provide no more than 25 per cent transparency. - Lighting is provided to all external accessways and paths. - Mailboxes are provided for each dwelling and can be communally located.	

Entry objective

Clause 55.03-4	Assessment
Objective - To provide each dwelling, apartment development or residential building with its own sense of identity. - To provide entries with weather protection, safe design, natural light and ventilation.	Complies The proposed communal access points and internal walkways are clearly visible from the street and adjacent walkways.



Standard B3-4

Dwellings (other than a dwelling in or forming part of an apartment development) and residential buildings

- Each dwelling and each residential building has a ground level entry door that:
 - Has a direct line of sight from a street, accessway or shared walkway.
 - Is not accessed through a garage.
 - Has an external covered area of at least 1.44 square metres with a minimum dimension of least 1.2 metres over the entry door.

Apartment development and residential building with a shared entry

- An apartment development and each residential building has:
 - A ground level entry door, gate or walkway with a direct line of sight from a street, accessway or shared walkway.
 - An external covered area of at least 144 square metres with a minimum dimension of at least 1.2 metres over the entry door of the building.
 - Shared corridors and common areas have at least one source of natural light and natural ventilation.

Dwellings with entrances directly from George Street are also clearly visible.

Private open space objective

Clause 55.03-5	Assessment
Objective • To provide adequate private open space for the reasonable recreation and service needs of residents. Standard B3-5 • A dwelling or residential building has private open space of an area and dimensions specified in a schedule to the zone. • If no area or dimensions are specified in a schedule to the zone, a dwelling or residential building has private open space with direct access from a living area, dining area or kitchen consisting of: ○ An area of 25 square metres of secluded private open space with a minimum dimension of 3 metres width; ○ A balcony with at least the area and dimensions specified in Table 3-5; or ○ An area on a podium or similar of at least 15 square metres, with a minimum dimension of 3 metres width; or ○ An area on a roof of at least 10 square metres, with a minimum dimension of 2 metres width. • If the area and dimensions of the private open space or secluded private open space is specified in a schedule to the zone; ○ The area and dimensions specified in the schedule must be 25 square metres or less; and ○ The area and dimension specified for a podium, balcony or an area on a roof must be less than the area and dimensions specified in this standard. • If a cooling or heating unit is located in the secluded private open space or private open space the required area is increased by 1.5 square metres. • Where ground level private open space is provided an area for clothes drying is provided.	Complies Dwellings are providing with at least 25m² of SPOS or a balcony exceeding 8m²



Table B3-5 Private open space for a balcony

Orientation of dwelling	Dwelling type	Minimum area	Minimum dimension
North (between north 20 degrees west to north 30 degrees east)	All	8 square metres	1.7 metres
South (between south 30 degrees west to south 20 degrees east)	All	8 square metres	1.2 metres
Any other orientation	Studio or 1 bedroom dwelling	8 square metres	1.8 metres
	2 bedroom dwelling	8 square metres	2 metres
	3 bedroom dwelling	12 square metres	2.4 metres

Solar access to open space objective

Clause 55.03-6

Objective

- To allow solar access into the secluded private open space of new dwellings and residential buildings.

Standard B3-6

- The southern boundary of secluded private open space is set back from any wall on the north of the space at least $(2 + 0.9h)$ metres, where 'h' is the height of the wall.

Assessment

Complies / N/A

Most secluded private open space does not have any wall on the northern boundary.

Secluded private open space that has a wall on the northern boundary has been appropriately setback.

Functional layout objective

Clause 55.03-7

Objectives

- To ensure dwellings provide functional areas that meet the needs of residents.

Standard B3-7

- Bedrooms:
 - Meet the minimum internal room dimensions specified in Table B3-7.1; and
 - Provide an additional area of at least 0.8 square metres to accommodate a wardrobe.

Table B3-7.1 Bedroom dimensions

Bedroom type	Minimum width	Minimum depth
Main bedroom	3 metres	3.4 metres
All other bedrooms	3 metres	3 metres

- Living areas (excluding dining and kitchen areas) meet the minimum internal room dimensions specified in Table B3-7.2.

Assessment

Complies

All rooms meet the minimum dimensions.

Table B3-72 Living area dimensions

Dwelling type	Minimum width	Minimum area
Studio and 1 bedroom dwelling	3.3 metres	10 sqm
2 or more bedroom dwelling	3.6 metres	12 sqm

Room depth objective

Clause 55.03-8	Assessment
Objective To allow adequate daylight into single aspect habitable rooms.	Complies All single aspect habitable rooms do not exceed 2.5 times the ceiling height.
Standard B3-8 - The depth of a single aspect habitable room does not exceed 2.5 times the ceiling height measured from the external surface of the habitable room window to the rear wall of the room. - The depth of a single aspect, open plan, habitable room may be increased to 9 metres if all the following requirements are met: - The room combines the living area, dining area and kitchen; and - The kitchen is located furthest from the window; and - The ceiling height is at least 2.7 metres measured from finished floor level to finished ceiling level, this excludes where services are provided above the kitchen; and - An overhang extends no more than 2m beyond the window of the single aspect habitable room. - In Clause 55.03-8 a single aspect habitable room is a habitable room with windows on only one wall.	All open plan areas are not single aspect.

Daylight to new windows objective

Clause 55.03-9	Assessment
Objective To allow adequate daylight into new habitable room windows.	Complies All habitable room windows are provided with windows which are clear to the sky or a verandah that is open for at least 1/3 its perimeter
Standard B3-9 Dwelling (other than a dwelling in or forming part of an apartment development) - A window in an external wall of the building is provided to all habitable rooms. - Habitable rooms in a dwelling have a window that faces: - An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or - A verandah provided it is open for at least one third of its perimeter, or - A carport provided it has two or more open sides and is open for at least one third of its perimeter.	
Dwelling in or forming part of an apartment development - A window in an external wall of the building is provided to all habitable rooms. - Where daylight to a bedroom is provided from a smaller secondary area within the bedroom, the secondary area is to have: - A minimum width of 1.2 metres. - A maximum depth of 1.5 times the width, measured from the external surface of the window.	

- A window clear to the sky.

Natural ventilation objectives

Clause 55.03-10	Assessment
Objectives • To encourage natural ventilation of dwellings. • To allow occupants to effectively manage natural ventilation of dwellings.	Complies All dwellings provide for natural ventilation through habitable rooms, with minimum breeze paths of 9 metres and maximum breeze path of 12 metres
Standard B3-10 Dwelling (other than a dwelling in or forming part of an apartment development) • Dwellings have openable windows, doors or other ventilation devices in external walls of the building that provide; ○ A maximum breeze path through the dwelling of 18 metres. ○ A minimum breeze path through the dwelling of 5 metres. ○ Ventilation openings with approximately the same area. • The breeze path is measured between the ventilation openings on different orientations of the dwelling. Dwelling in or forming part of an apartment development • At least 40 percent of dwellings have openable windows, doors or other ventilation devices in external walls of the building that provide: ○ A maximum breeze path through the dwelling of 18 metres. ○ A minimum breeze path through the dwelling of 5 metres. ○ Ventilation openings with approximately the same area. • The breeze path is measured between the ventilation openings on different orientations of the dwelling.	

Storage objective

Clause 55.03-11	Assessment
Objectives • To provide adequate storage facilities for each dwelling.	Variation Dwellings 17-24 are provided with only 1 cubic metre of externally accessible storage in the car park, falling short of the standard. The lack of storage is due to the typology of building 3. This has been offset with extensive internal storage in excess of the standard.
Standard B3-11 Dwelling (other than a dwelling in or forming part of an apartment development) • Each dwelling has exclusive access to at least 6 cubic metres of externally accessible storage space. Dwelling in or forming part of an apartment development • Each dwelling has exclusive access to storage at least the total minimum storage volume that is specified in Table B3-11.	



Table B3-11 Storage

Dwelling type	Total minimum storage volume	Minimum storage volume within the dwelling
Studio	8 cubic metres	5 cubic metres
1 bedroom dwelling	10 cubic metres	6 cubic metres
2 bedroom dwelling	14 cubic metres	9 cubic metres
3 or more bedroom dwelling	18 cubic metres	12 cubic metres

Accessibility for apartment developments objective

Clause 55.03-12

Objective

- *To ensure the design of dwellings meets the needs of people with limited mobility.*

Standard B3-12

- *At least 50 per cent of dwellings in or forming part of an apartment development have:*
 - *A clear opening width of at least 850mm at the entrance to the dwelling and main bedroom.*
 - *A clear path with a minimum width of 1.2 metres that connects the dwelling entrance to the main bedroom, an adaptable bathroom and the living area.*
 - *A main bedroom with access to an adaptable bathroom.*
 - *At least on adaptable bathroom that meets all of the requirements of either Design A or Design B specified in Table B3-12.*

Table B3-12 Bathroom design

	Design option A	Design option B
Door opening	A clear 850mm wide door opening.	A clear 820mm wide door opening located opposite the shower.
Door design	Either: ■ A slide door, or ■ A door that opens outwards, or ■ A door that opens inwards that is clear of the circulation area and has readily removable hinges.	Either: ■ A slide door, or ■ A door that opens outwards, or ■ A door that opens inwards and has readily removable hinges.

Assessment

N/A

The proposal is not an apartment development.



Circulation area	A clear circulation area that is: - A minimum area of 1.2 metres by 1.2 metres. - Located in front of the shower and the toilet. - Clear of the toilet, basin and the door swing. The circulation area for the toilet and shower can overlap.	A clear circulation area that is: - A minimum width of 1 metre. - The full length of the bathroom and a minimum length of 2.7 metres. - Clear of the toilet and basin. The circulation area can include a shower area.
Path to circulation area	A clear path with a minimum width of 900mm from the door opening to the circulation area.	Not applicable.
Shower	A hobless (step-free) shower.	A hobless (step-free) shower that has a removable shower screen and is located on the furthest wall from the door opening.
Toilet	A toilet located in the corner of the room.	A toilet located closest to the door opening and clear of the circulation area.

External Amenity

Daylight to existing windows objective

Clause 55.04-1	Assessment
Objective - To allow adequate daylight into existing habitable room windows. Standard B4-1 - Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot. - Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window. - Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.	Complies All existing habitable room windows on adjoining lots will be provided with a light court with a minimum area of 3sqm and minimum dimension of 1m clear to the sky

Existing north-facing windows objective

Clause 55.04-2	Assessment
Objective - To allow adequate solar access to existing north-facing habitable room windows. Standard B4-2 - Where a north-facing habitable room window of a neighbouring dwelling or small second dwelling is within 3 metres of a boundary on an abutting lot: - A new building should be setback from the boundary 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. This setback is to be provided for a distance of at least 3 metres from the edge of each side of the window.	N/A The north facing habitable room windows of 32 George Street are adjacent the existing church. The footprint and walls of this building are not proposed to be modified.



- For new buildings that meet the Standard B2-3.2 setback, the building is set back from the boundary by at least 6 metres up to a height not exceeding 11 metres and at least 9 metres for a height over 11 metres between south 30 degrees west to south 30 degrees east. This setback is to be provided for a distance of at least 3 metres from the edge of each side of the window.
- For this standard a north facing window is a window with an axis perpendicular to its surface orientated from north 20 degrees west to north 30 degrees east.

Overshadowing secluded open space objective

Clause 55.04-3	Assessment
Objective To ensure buildings do not significantly overshadow existing secluded private open space.	Complies The proposal results in additional overshadowing to 9/35-37 Ashley Street on 22 September as follows: 1pm of 6m² 2pm of 19m² 3pm of 34m²
Standard B4-3 - The area of secluded private open space that is not overshadowed by the new development is greater than 50 per cent, or 25 square metres with minimum dimension of 3 metres, whichever is the lesser area, for a minimum of five hours between 9 am and 3 pm on 22 September. - If existing sunlight to the secluded private open space of an existing dwelling or a small second dwelling is less than the requirements of this standard, the amount of sunlight will not be further reduced.	Up until 3pm, the property enjoys a minimum of 25m ² of SPOS that is not overshadowed by the new development, ensuring the minimum is met for 5 hours between 9am and 3pm

Overlooking objective

Clause 55.04-4	Assessment
Objective To limit views into existing secluded private open space and habitable room windows.	Complies – subject to condition Subject to a condition requiring compliance for dwellings TH17 to TH24, all dwellings comply with the standard, with obscure glazing and grated screening has been proposed for dwellings TH23 and TH24 as required.
Standard B4-4 - In Clause 55.04-4 a habitable room does not include a bedroom. - A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space of an existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level. - A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio should be either: - Offset a minimum of 1.5 metres from the edge of one window to the edge of the other; or - Has sill heights of at least 1.7 metres above floor level; or - Has fixed, obscure glazing in any part of the window below 1.7 metre above floor level. - Has permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent. - Has fixed elements that prevent the direct view, such as horizontal ledges or vertical fins. - Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard. - Screens used to obscure a view are:	



- Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels.
- Permanent, fixed and durable.
- Designed and coloured to blend in with the development.
- This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.

Internal views objective

Clause 55.04-5	Assessment
Objective To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.	Complies Internal views into habitable rooms are managed via vertical offsets and eaves to limit internal views.
Standard B4-5 - In Clause 55.04-5 a habitable room does not include a bedroom. - Within the development, a habitable room window, balcony, terrace, deck or patio that is located with a direct view into the secluded private open space of another dwelling: - Is offset a minimum of 1.5 metres from the edge of the secluded private open space; or - Has a sill height of at least 1.7 metres above floor level; or - Has a fixed, visually obscure balustrade to at least 1.7 metres above floor level; or - Has fixed elements that prevent the direct view, such as horizontal ledges or vertical fins. - Direct views are managed at a height of 1.7 metres above floor level and within: - A 45 degree horizontal angle from the edge of the new window or balcony. - A 45 degree angle in the downward direction. - Screens provided for overlooking are no more than 25 per cent transparent. Screens may be openable provided that this does not allow direct views as specified in this standard.	

Sustainability

Permeability and stormwater management objective

Clause 55.05-1	Assessment
Objectives - To reduce the impact of increased stormwater run-off on the drainage system and downstream waterways. - To facilitate on-site stormwater infiltration. - To encourage stormwater management that maximises the retention and reuse of stormwater. - To contribute to urban cooling.	Complies The plans indicate that 36% of the site is pervious. The SDA demonstrates that it meets best practice performance objectives with the implantation of rainwater tanks raingardens and permeable surfaces.
Standard B5-1 - The site area covered by the pervious surfaces is at least 20 percent of the site. - The development includes a stormwater management system designed to: - Meet the best practice quantitative performance objectives for stormwater quality specified in the Urban stormwater management guidance (EPA Publication 1739.1, 2021) of: - Suspended solids 80% reduction in mean annual load.	



- Total phosphorus and Total Nitrogen 45% reduction in mean annual load.
- Litter 70% reduction of mean annual load.
- Allow for intended vegetation growth and structural protection of buildings.
- In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals.
- Provide a safe, attractive and functional environment for residents.

Note:

A certificate generated from a stormwater assessment tool including Stormwater Treatment Objective – Relative Measurement (STORM), Model for Urban Stormwater Improvement Conceptualisation (MUSIC) or an equivalent product accepted by the responsible authority may be used to demonstrate the performance objectives for stormwater quality are met.

- Direct flows of stormwater into treatment areas, garden areas, tree pits and permeable surfaces, with drainage of residual flows to the legal point of discharge.

Overshadowing domestic solar energy systems objective

Clause 55.05-2	Assessment
Objectives • To ensure that the height and setback of a building from a boundary allows reasonable solar access to existing domestic solar energy systems on the roofs of buildings.	Complies The proposal does not overshadow the rooftop solar system at 32 George Street.
Standard B5-2 • Any part of a new building that will reduce the sunlight at any time between 9am and 4 pm on 22 September to an existing domestic solar energy system on the roof of a building on an adjoining lot be set back from the boundary to that lot by at least 1 metre at 3.6 metres above ground level, plus 0.3 metres for every meter of building height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. • This standard applies to an existing building in a Township Zone, General Residential Zone or Neighbourhood Residential Zone. • In Clause 55.05-2 domestic solar energy system means a domestic solar energy system that existed at the date the application was lodged.	

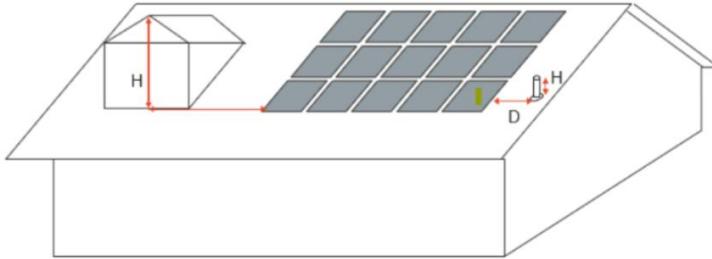
Rooftop solar energy generation area objective

Clause 55.05-3	Assessment
Objectives • To support the future installation of appropriately sited rooftop solar energy systems for a dwelling.	Complies The proposal provides rooftop solar systems for all dwellings within the development.
Standard B5-3 • In Clause 55.05-3 rooftop solar energy area means an area provided on the roof of a dwelling to enable the future installation of a solar energy system. • An area on the roof is capable of siting on a rooftop solar energy area for each dwelling which: ○ Has a minimum dimension of 1.7 metres. ○ Has a minimum area in accordance with Table B5-3 ○ Is orientated to the north, west or east. ○ Is positioned on the top two thirds of a pitched roof. ○ Can be a contiguous area or multiple smaller areas	



- *Is free from obstructions on the roof of the dwelling within twice the height of each obstruction (H), measured horizontally (D) from the centre point of the base of the obstruction to the nearest point of the rooftop solar energy area.*

Diagram B5-3 Allowable distance between obstructions and the rooftop solar energy area



- *Obstructions located south of all points of the rooftop solar energy area are not subject to the horizontal distance requirements.*

Table B5-3 Minimum rooftop solar energy generation area

Number of bedrooms	Minimum roof area
1 bedroom dwelling	15 square metres
2 or 3 bedroom dwelling	26 square metres
4 or more bedroom dwelling	34 square metres

Solar protection to new north-facing windows objective

Clause 55.05-4	Assessment
Objective • <i>To encourage external shading of north facing windows to minimise summer heat gain.</i>	Complies Eaves and external shading devices are proposed for the north facing windows. See Drawing TP43
Standard B5-4 • <i>North facing windows are shaded by eaves, fixed horizontal shading devices or fixed awnings with a minimum horizontal depth of 0.25 times the window height.</i>	

Waste and recycling objectives



Clause 55.05-5

Objectives

- To ensure dwellings are designed to facilitate waste recycling.
- To ensure that waste and recycling facilities are accessible and are of sufficient size to manage organic and general waste, and mixed and glass recycling.
- To ensure that waste and recycling facilities are designed and managed to minimise impacts on residential amenity.

Standard B5-5

Dwelling (other than a dwelling in or forming part of an apartment development)

- The development includes an individual bin storage area for use by each dwelling, of at least the applicable area, depth and height specified in Table B5-5.1.

Table B5-5.1 Bin storage

Type of bin storage area	Minimum area	Minimum depth	Minimum height
Individual bin storage area for a dwelling.	1.8 square metres	0.8 metre	1.8 metres
Shared bin storage area for 3 dwellings or less.	5.4 square metres	0.8 metre	1.8 metres
Shared bin storage area for 4 or more dwellings.	1 square metre per dwelling plus 4 square metres	0.8 metre	1.8 metres

- If the development includes a shared bin storage area:
 - The shared bin storage area:
 - Is located within 40 metres of a kerbside collection point.
 - Includes a tap for bin washing.
 - There is a continuous path of travel free of steps and obstructions from dwellings to the bin storage area.
- Where access is provided for private bin collection on the land the design of access ways must allow the vehicle to enter and exit in a forward direction.
- Each dwelling includes an internal waste and recycling storage space of at least 0.07 cubic metres with a minimum depth of 250 millimetres.

Dwelling in or forming part of an apartment development

- The development includes a shared bin storage area for by each dwelling of at least the applicable area, depth and height specified in Table B5-5.2.

Table B5-5.2 Apartment bin storage

Number of dwellings	Minimum area	Minimum depth	Minimum height
15 or less dwellings	0.7 square metres per dwelling in a shared waste storage area	0.8 metres	2.7 metres
16 to 55 dwellings	0.5 square metres per dwelling, plus 5 square metres in a shared waste storage area.	1 metre	2.7 metres
56 or more dwellings	0.5 square metres per dwelling in a shared waste storage area.	1 metre	2.7 metres

Assessment

Complies

A communal bin storage area is proposed. As detailed in the Waste Management Plan, the area and bin size is sufficient for the development.

- *Enclosed bin storage areas are ventilated by:*
 - *Natural ventilation openings to the external air with an area of at least 5 per cent of the area for the bin storage area; or*
 - *A mechanical exhaust ventilation system.*
- *A tap and drain is provided to wash bins.*
- *A continuous path of travel is provided from each dwelling to bin storage areas.*
- *Each dwelling includes an internal waste and recycling storage space of at least 0.07 cubic metres with a minimum depth of 250 millimetres.*

Noise impacts objective

Clause 55.05-6	Assessment
Objectives • <i>To minimise the impact of mechanical plant noise located in the development.</i>	Complies Mechanical plant equipment is proposed to be installed within the SPOS and verandahs of the dwellings, and are not within proximity of existing habitable rooms.
Standard B5-6 • <i>Mechanical plant, including mechanical car storage and lift facilities are not located immediately adjacent to bedrooms of new or existing dwellings or small second dwellings, unless a solid barrier is in place to provide a line of sight barrier to transmission of noise and the location of all relevant bedrooms.</i>	

Energy efficiency for apartment development objectives

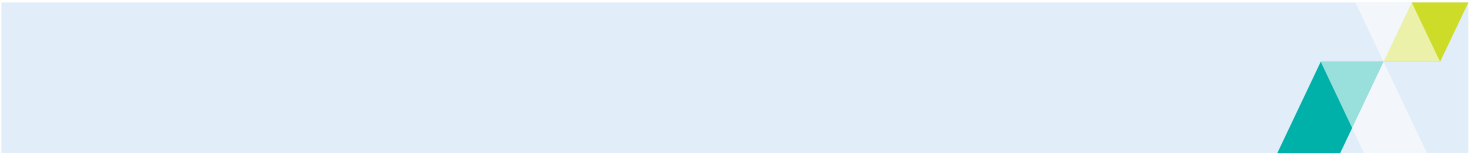
Clause 55.05-7	Assessment
Objectives • <i>To achieve energy efficient dwellings and buildings.</i> • <i>To ensure dwellings achieve adequate thermal efficiency.</i>	N/A The proposal is not an apartment development.
Standard B5-7 • <i>Dwellings in or forming part of an apartment development located in a climate zone identified Table B5-7 do not exceed the maximum NatHERS annual cooling load.</i>	



NatHERS climate zone	NatHERS maximum cooling load MJ/M ² per annum
Climate zone 21 Melbourne	30
Climate zone 22 East Sale	22
Climate zone 27 Mildura	69
Climate zone 60 Tullamarine	22
Climate zone 62 Moorabbin	21
Climate zone 63 Warrnambool	21
Climate zone 64 Cape Otway	19
Climate zone 66 Ballarat	23

Note:

- Refer to NatHERS zone map, Nationwide House Energy Rating Scheme (Commonwealth Department of Environment and Energy).



Appendix 2: Site Photos





















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